

AGENDA
OCEANSIDE DEVELOPER'S CONFERENCE

Tuesday, July 8, 2014, 9:00 a.m.
Guajome Room

1. 9:00 a.m. - 10:00 a.m. Discussion for the development of 68 single family detached homes on a 43.5 acre parcel located at the western terminus of Olive Drive.

Zoning: RS (Residential Single Family)
Land Use: MDA-R (Medium Density A – Residential)
Neighborhood Area: Mira Costa
Assessor Parcel Number: 162-111-04
Contact Person: Andrew Gerber
Tel.: 858-248-7010
Email: agerber@cityventures.com

2. 10:00 a.m. - 11:00 a.m. Discussion of a 4-unit subdivision on a 1.98 acre lot located north of Mangrum Place, adjacent to the El Camino Country Club Golf Course.

Zoning: RE-B (Residential Estate – B)
Land Use: EB-R (Estate B – Residential)
Neighborhood Area: Mira Costa
Assessor Parcel Number: 165-350-04
Contact Person: Elizabeth Shoemaker
Tel.: 760-431-9896
Email: Elizabeth.shoemaker@gmail.com

Attachments:

1. Maps
2. Project Description Letter
3. Proposed Elevations



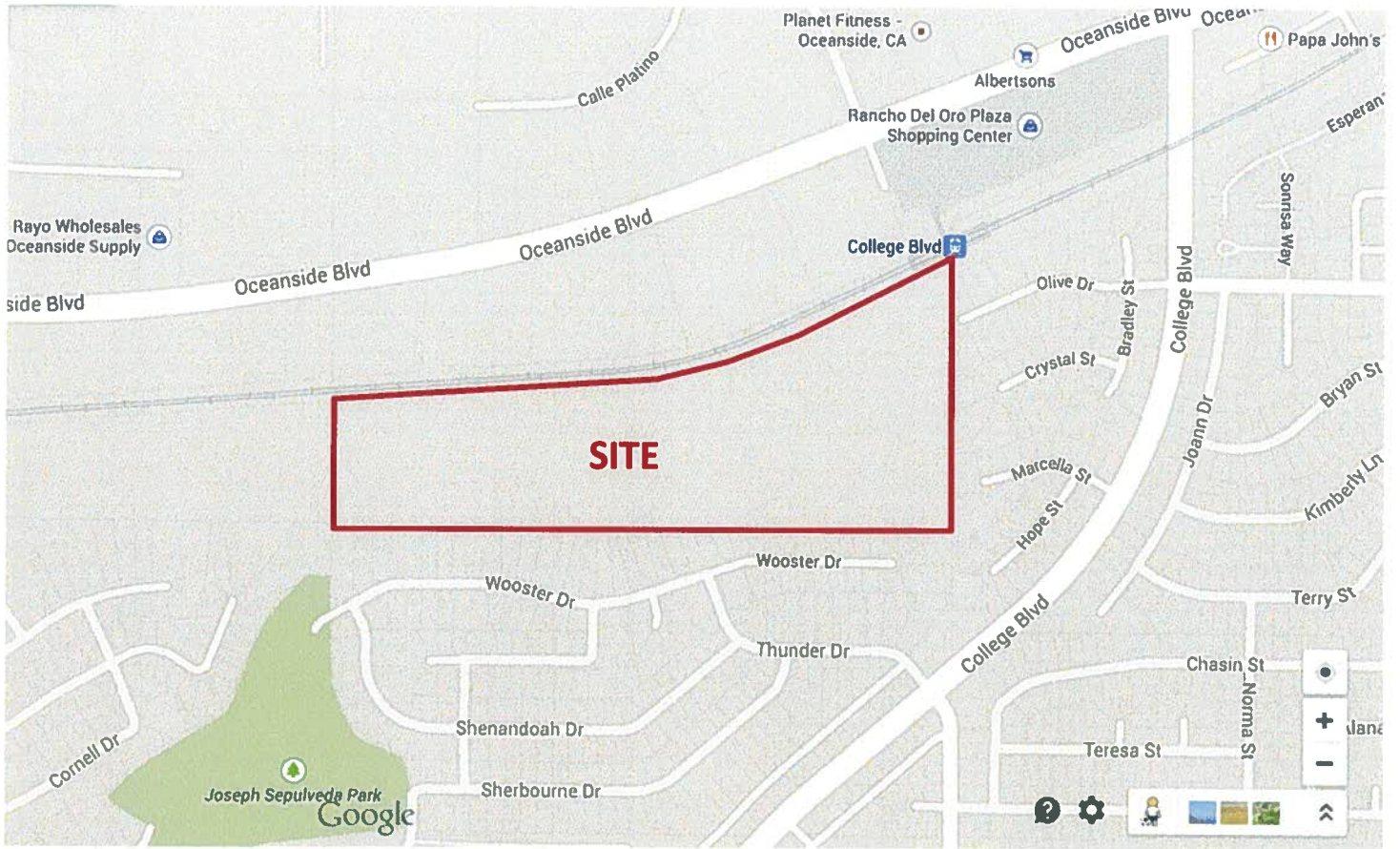
City Ventures

PROJECT DESCRIPTION

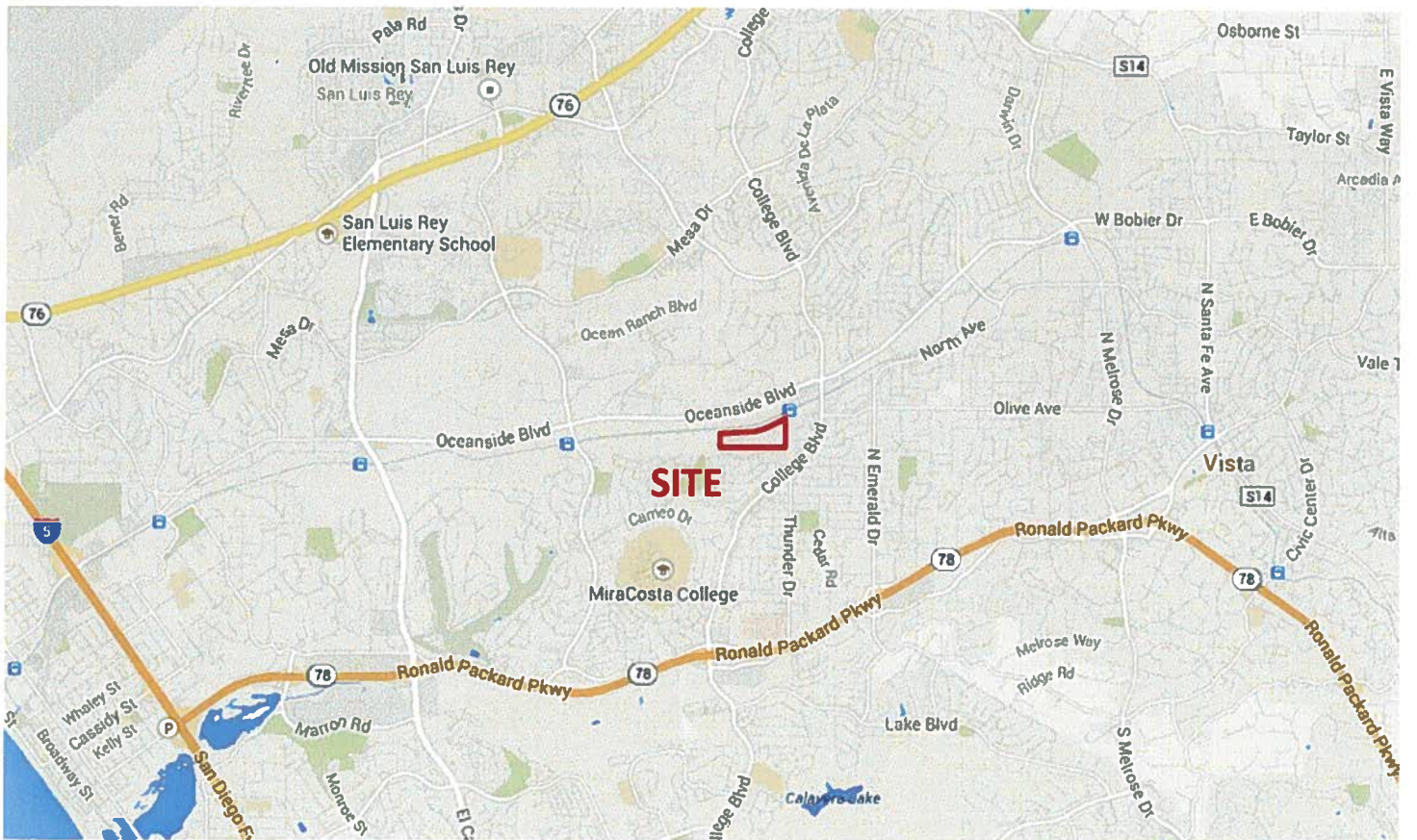
City Ventures is proposing a transit-oriented residential development consisting of 68 single-family detached homes, a private road terminating in a cul-de-sac, two recreation areas and a stormwater treatment/detention basin on 43.5-acre parcel located at the western terminus of Olive Drive. The assessor's parcel number of the site is 162-11-04.

The site is on a hillside overlooking the Sprinter light rail line. The College Boulevard Sprinter station is located at the northeast corner of the site, and is approximately ½ mile away from the site via existing roads/sidewalks. The current zoning is "RS", but we would consider re-zoning the site to a Planned Development (PD) overlay in order to achieve the desired density.

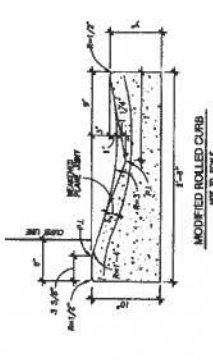
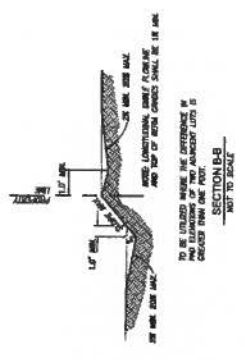
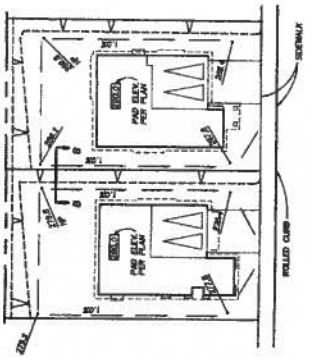
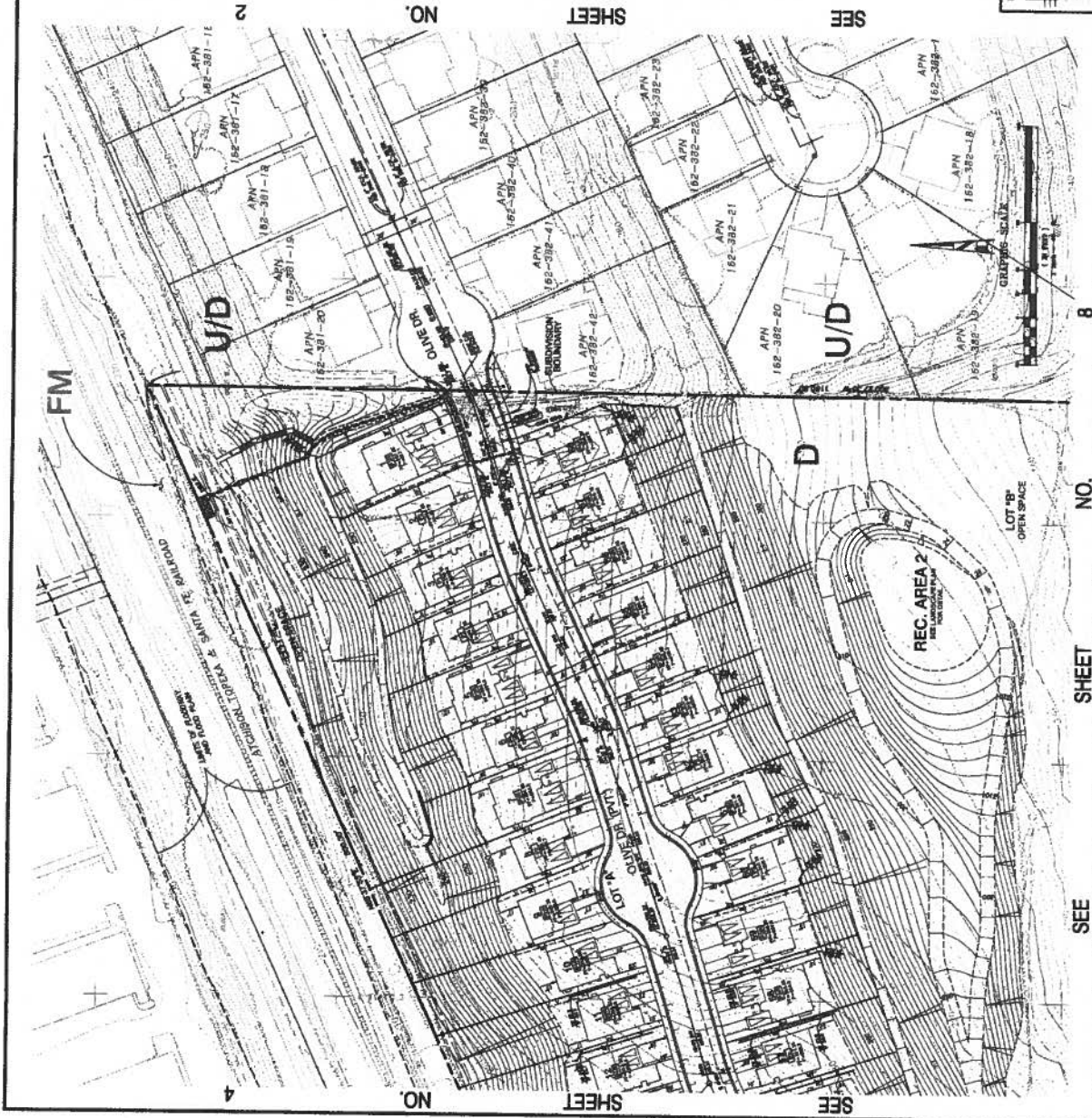
The property is not previously developed, and a majority of the site consists of hillsides and existing natural habitat. Most of the site will thus be preserved as open space, resulting in actual density of fewer than 2 dwelling units per gross acre.



LOCATOR MAP



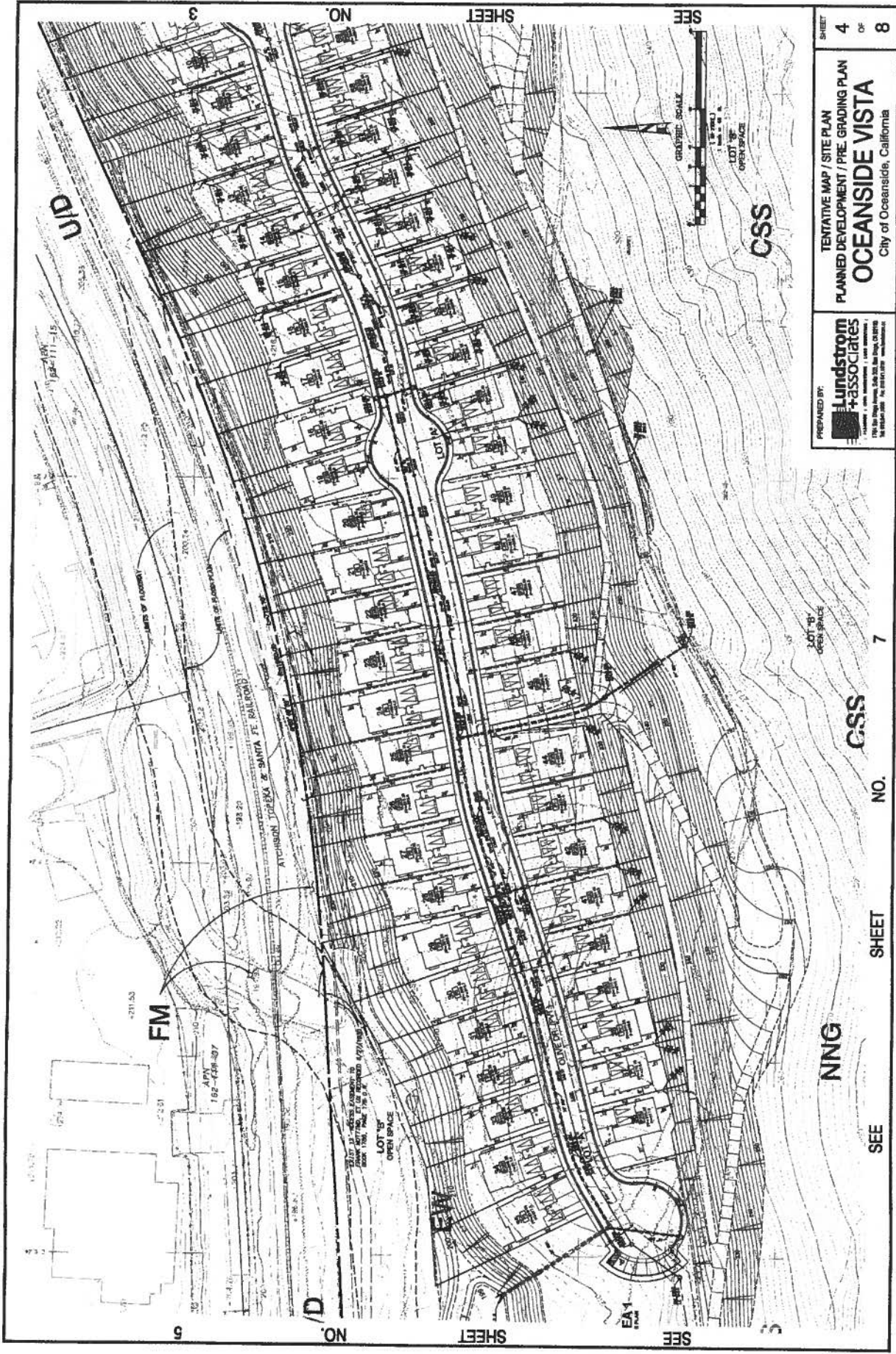
REGIONAL CITY MAP



PREPARED BY:
Lundstrom + associates
 10000 Wilshire Blvd., Suite 1000, Culver City, CA 90230
 TEL: (310) 551-1111 FAX: (310) 551-1112

TENTATIVE MAP / SITE PLAN
 PLANNED DEVELOPMENT / PRE. GRADING PLAN
OCEANSIDE VISTA
 City of Oceanside, California

SHEET 3 OF 8



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PREPARED BY:
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TENTATIVE MAP / SITE PLAN
 PLANNED DEVELOPMENT / PRE GRADING PLAN
OCEANSIDE VISTA
 City of Oceanside, California

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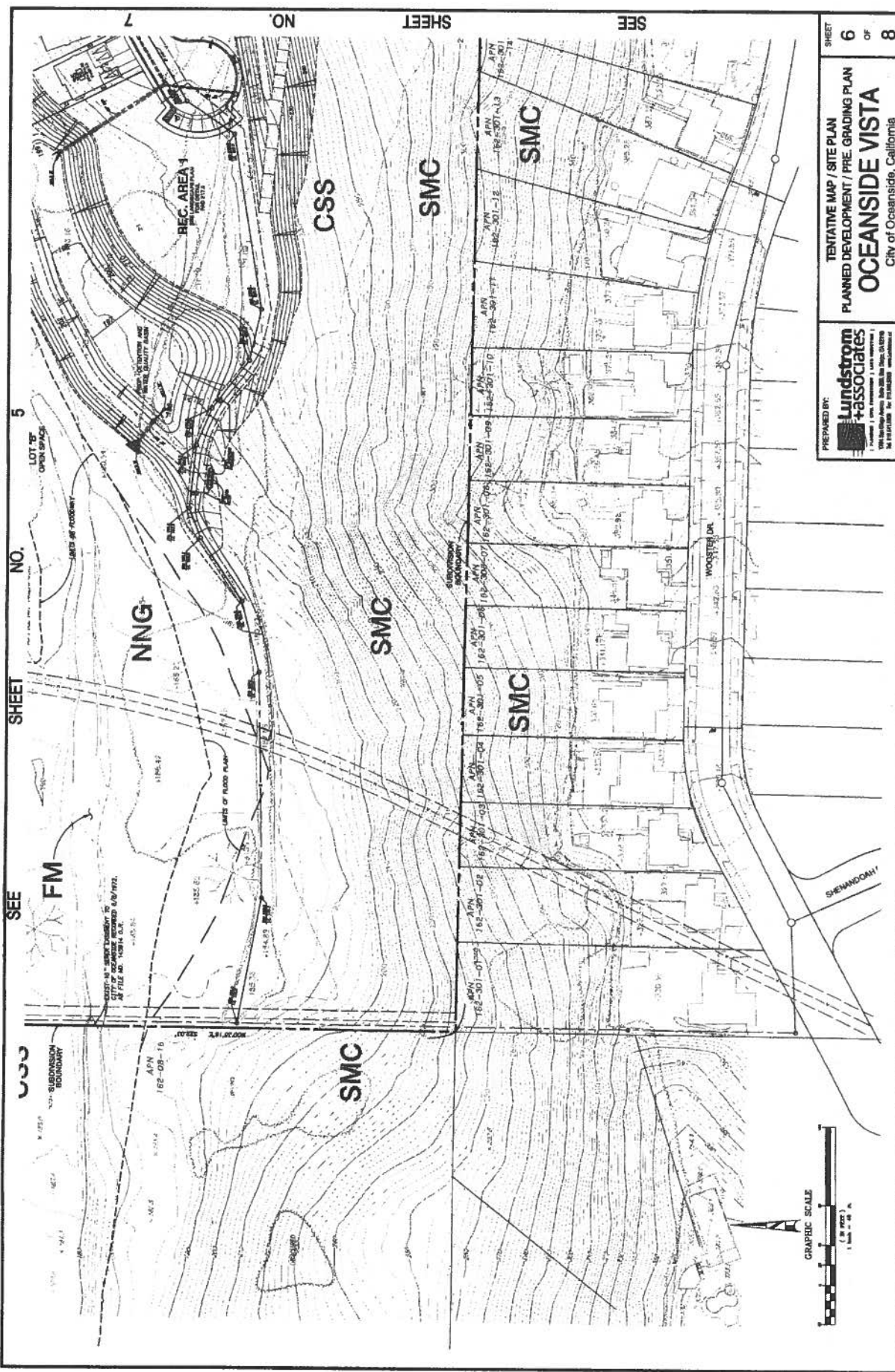
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SEE SHEET NO. 5

LOT OF OPEN SPACE

AREAS OF POTENTIAL

REC. AREA 1

WATER QUALITY BASIN

WOODSTEAD DR.

SHEWANOGAH

WOOSTER DR.

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PREPARED BY:

 1. LICENSED PROFESSIONAL ENGINEER
 2. LICENSED PROFESSIONAL LAND SURVEYOR
 3. LICENSED PROFESSIONAL ARCHITECT

TENTATIVE MAP / SITE PLAN
 PLANNED DEVELOPMENT / PRE GRADING PLAN
OCEANSIDE VISTA
 City of Oceanside, California

SHEET 6 OF 8



SEE SHEET NO. 7

NO. 3



LOT SUMMARY TABLE

LOT NO.	ACRES	LOT AREA (SQ FT)	NET LOT WIDTH (FT)	PLAN FOOTPRINT (SQ FT)	BLDG COVERAGE (%)	FRONT YARD SETBACK (FT)
1	0.07	3,171	31	2,011	63%	5.0
2	0.07	3,171	31	2,011	63%	5.0
3	0.07	3,171	31	2,011	63%	5.0
4	0.07	3,171	31	2,011	63%	5.0
5	0.07	3,171	31	2,011	63%	5.0
6	0.07	3,171	31	2,011	63%	5.0
7	0.07	3,171	31	2,011	63%	5.0
8	0.07	3,171	31	2,011	63%	5.0
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97	0.07	3,171	31	2,011	63%	5.0
98	0.07	3,171	31	2,011	63%	5.0
99	0.07	3,171	31	2,011	63%	5.0
100	0.07	3,171	31	2,011	63%	5.0
TOTAL	7.00	282,800	282	181,100	64%	5.0
MINIMUM		3,171	31	2,011	63%	5.0
MAXIMUM		3,171	31	2,011	63%	5.0
AVERAGE		3,171	31	2,011	63%	5.0

PREPARED BY:
Lyndstrom + Associates
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 Tel: 415.774.1100 Fax: 415.774.1101

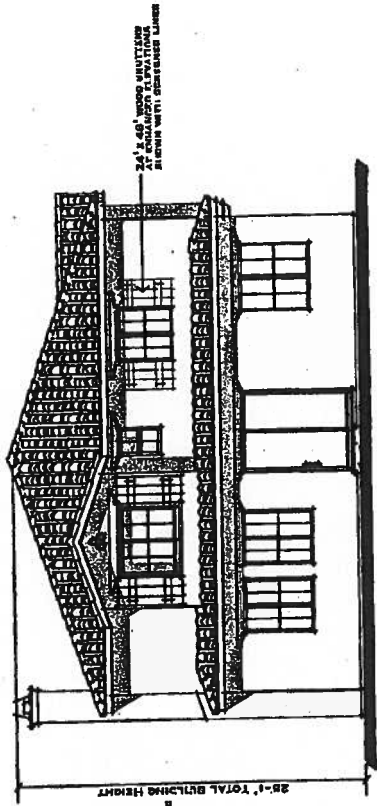
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OCEANSIDE VISTA
 City of Oceanside, California

SHEET 8 OF 8

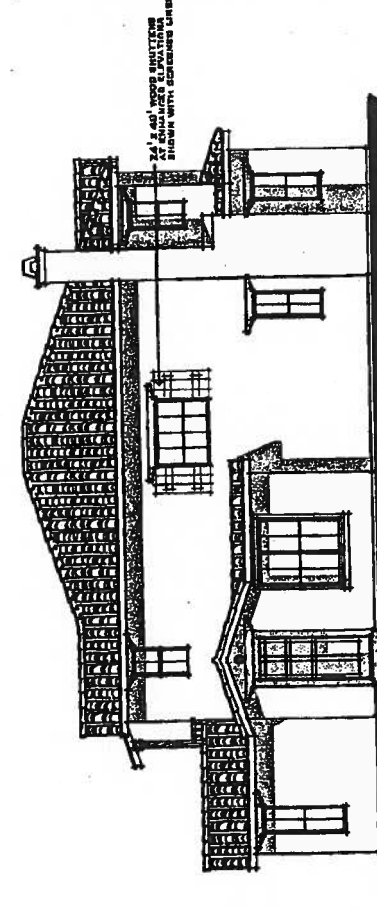
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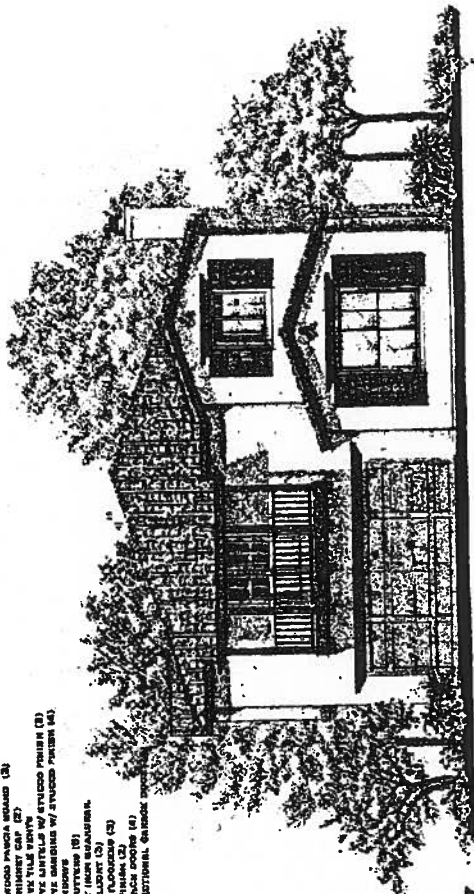


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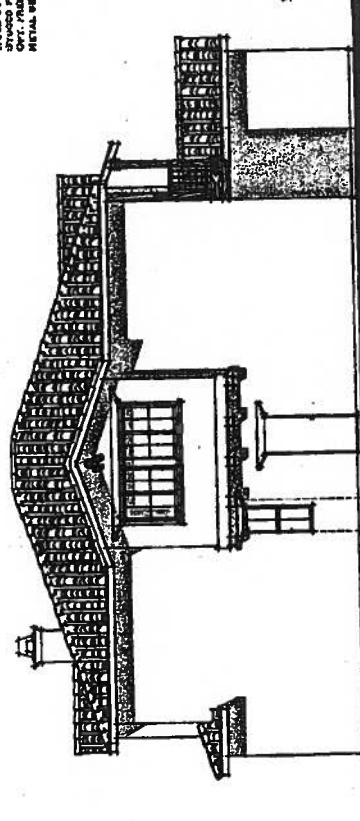


RIGHT SIDE

MATERIAL PALETTE:
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FRONT



LEFT SIDE

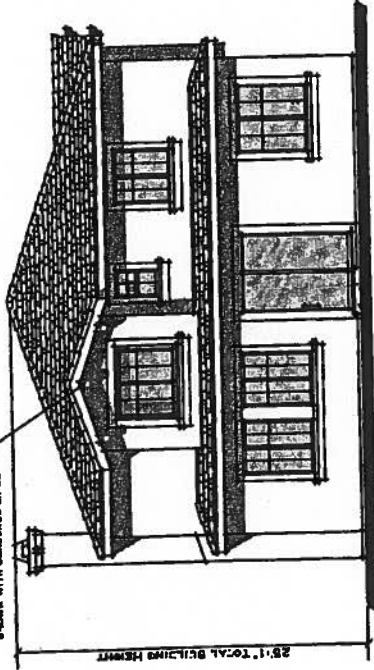


RESIDENCE ONE
 "A" ELEVATION / SPANISH ECLECTIC
OCEANSIDE VISTA II
 CALIFORNIA
 OCEANSIDE TROLLEY PLACE LLC

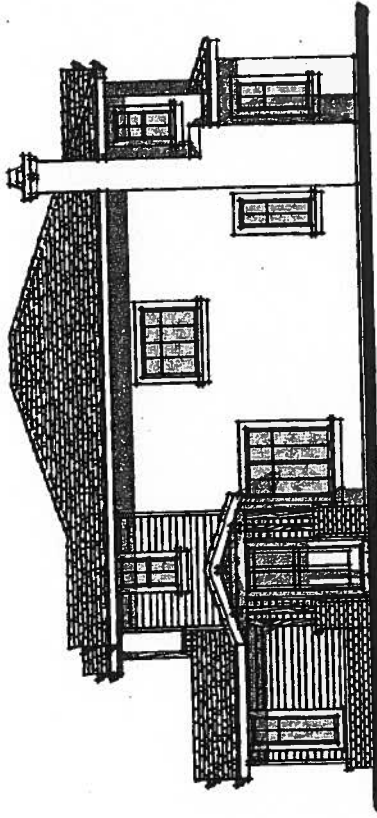


A. ELEVATION (1)	SCALE	(2)	(3)	(4)	(5)
1	1/8" = 1'-0"	1/4" = 1'-0"	1/2" = 1'-0"	3/4" = 1'-0"	1" = 1'-0"
2	1/8" = 1'-0"	1/4" = 1'-0"	1/2" = 1'-0"	3/4" = 1'-0"	1" = 1'-0"
3	1/8" = 1'-0"	1/4" = 1'-0"	1/2" = 1'-0"	3/4" = 1'-0"	1" = 1'-0"
4	1/8" = 1'-0"	1/4" = 1'-0"	1/2" = 1'-0"	3/4" = 1'-0"	1" = 1'-0"
5	1/8" = 1'-0"	1/4" = 1'-0"	1/2" = 1'-0"	3/4" = 1'-0"	1" = 1'-0"
6	1/8" = 1'-0"	1/4" = 1'-0"	1/2" = 1'-0"	3/4" = 1'-0"	1" = 1'-0"

8" x 12" WOOD SHINGLES
 1" x 4" FISH SCALE
 2" x 4" FISH SCALE
 6" x 6" WITH 1/2" SQUARE
 25'-1" TOTAL BUILDING HEIGHT

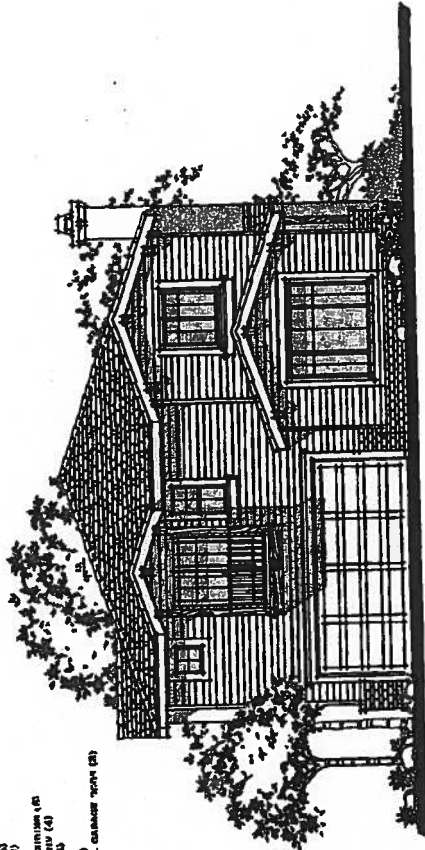


REAR



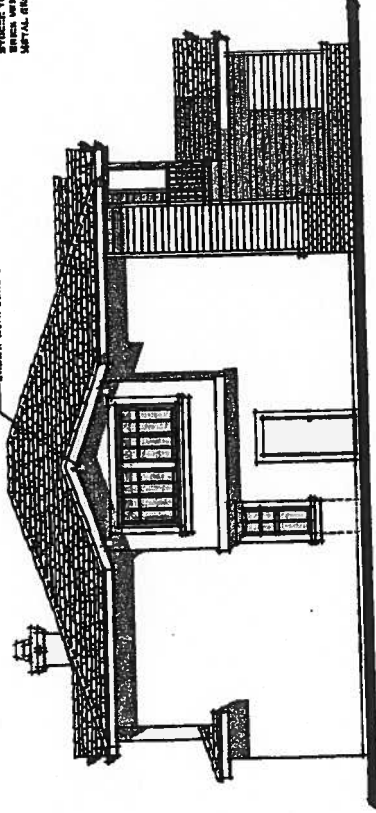
RIGHT SIDE

MATERIAL PALETTE:
 12" x 12" WOOD SHINGLES (1)
 1" x 4" FISH SCALE (2)
 2" x 4" FISH SCALE (3)
 6" x 6" WITH 1/2" SQUARE (4)
 8" x 12" WOOD SHINGLES (5)
 1" x 4" FISH SCALE (6)
 2" x 4" FISH SCALE (7)
 6" x 6" WITH 1/2" SQUARE (8)
 8" x 12" WOOD SHINGLES (9)
 1" x 4" FISH SCALE (10)
 2" x 4" FISH SCALE (11)
 6" x 6" WITH 1/2" SQUARE (12)



FRONT

8" x 12" WOOD SHINGLES
 1" x 4" FISH SCALE
 2" x 4" FISH SCALE
 6" x 6" WITH 1/2" SQUARE



LEFT SIDE

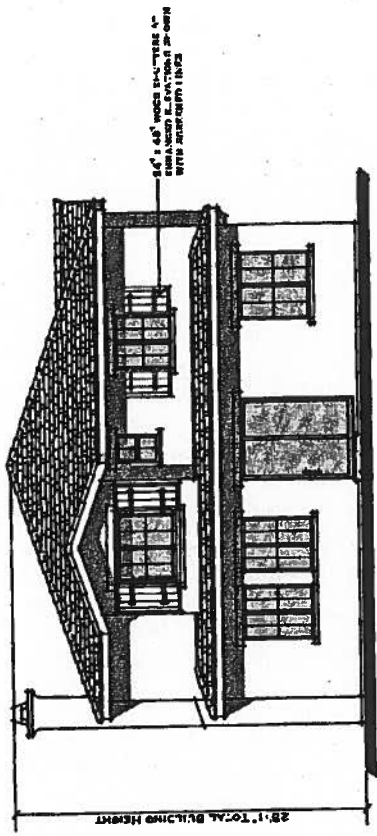


RESIDENCE ONE
 "B" ELEVATION / CRAFTSMAN
OCEANSIDE VISTA II
 CALIFORNIA
 OCEANSIDE TROLLEY PLACE LLC

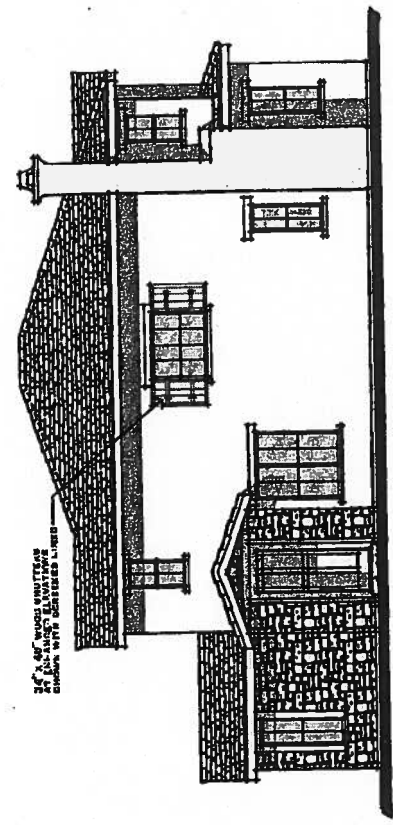


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D - CRAFTSMAN	(1)	(2)	(3)	(4)	(5)	(6)
1	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES
2	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES
3	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES
4	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES
5	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES
6	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES
7	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES
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9	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES
10	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES
11	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES
12	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES	SHINGLES

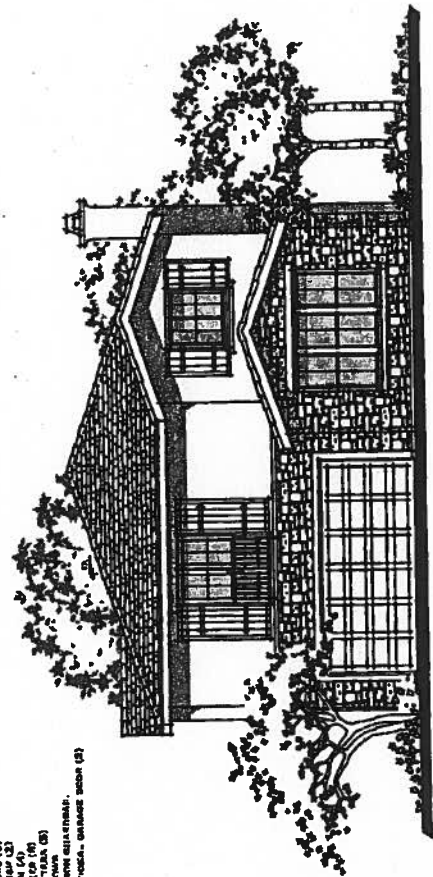


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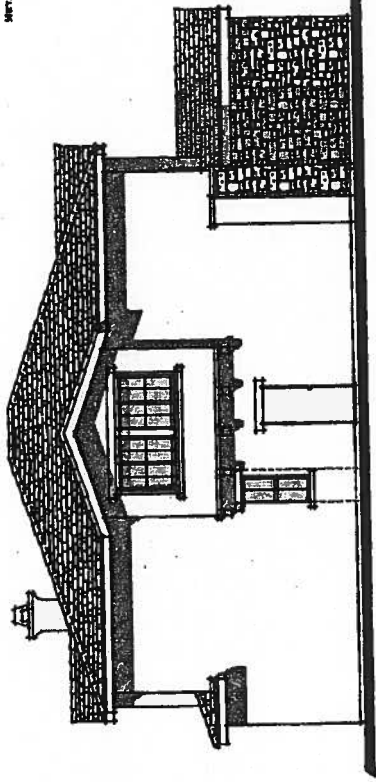


RIGHT SIDE

MATERIAL PALETTE:
 PLAT SHADE CONCRETE TILE ROOFING (1)
 LIGHT GRAY STUCCO (2)
 PAINTED WOOD PANELS (3)
 PAINTED WOOD SHUTTERS (4)
 CEILING BOARD (5)
 STAINLESS STEEL (6)
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 STAINLESS STEEL (49)
 STAINLESS STEEL (50)



FRONT



LEFT SIDE

0 5' 10'

RESIDENCE ONE

"C" ELEVATION / ITALIAN COUNTRY

OCEANSIDE VISTA II

CALIFORNIA

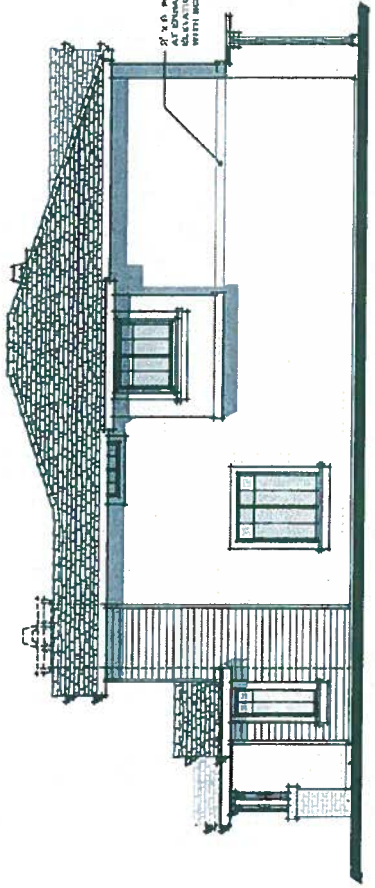
OCEANSIDE TROLLEY PLACE LLC



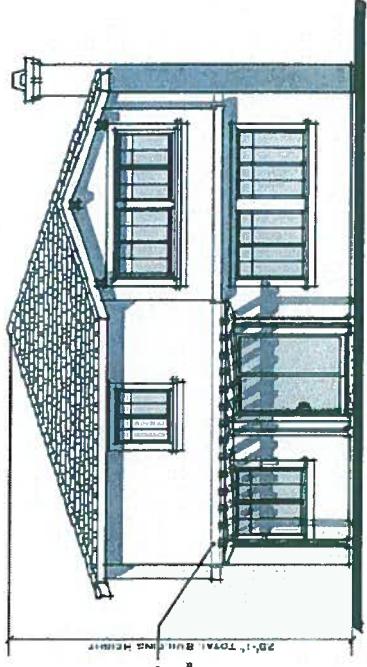
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SECTION

NO.	DESCRIPTION	DATE	BY	CHKD.
1	FOUNDATION	10/10/11	J. EDINGER	J. EDINGER
2	FLOOR PLAN	10/10/11	J. EDINGER	J. EDINGER
3	FRONT ELEVATION	10/10/11	J. EDINGER	J. EDINGER
4	REAR ELEVATION	10/10/11	J. EDINGER	J. EDINGER
5	RIGHT SIDE ELEVATION	10/10/11	J. EDINGER	J. EDINGER
6	LEFT SIDE ELEVATION	10/10/11	J. EDINGER	J. EDINGER
7	SECTION	10/10/11	J. EDINGER	J. EDINGER
8	SECTION	10/10/11	J. EDINGER	J. EDINGER
9	SECTION	10/10/11	J. EDINGER	J. EDINGER
10	SECTION	10/10/11	J. EDINGER	J. EDINGER
11	SECTION	10/10/11	J. EDINGER	J. EDINGER
12	SECTION	10/10/11	J. EDINGER	J. EDINGER
13	SECTION	10/10/11	J. EDINGER	J. EDINGER
14	SECTION	10/10/11	J. EDINGER	J. EDINGER
15	SECTION	10/10/11	J. EDINGER	J. EDINGER
16	SECTION	10/10/11	J. EDINGER	J. EDINGER
17	SECTION	10/10/11	J. EDINGER	J. EDINGER
18	SECTION	10/10/11	J. EDINGER	J. EDINGER
19	SECTION	10/10/11	J. EDINGER	J. EDINGER
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22	SECTION	10/10/11	J. EDINGER	J. EDINGER
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46	SECTION	10/10/11	J. EDINGER	J. EDINGER
47	SECTION	10/10/11	J. EDINGER	J. EDINGER
48	SECTION	10/10/11	J. EDINGER	J. EDINGER
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50	SECTION	10/10/11	J. EDINGER	J. EDINGER

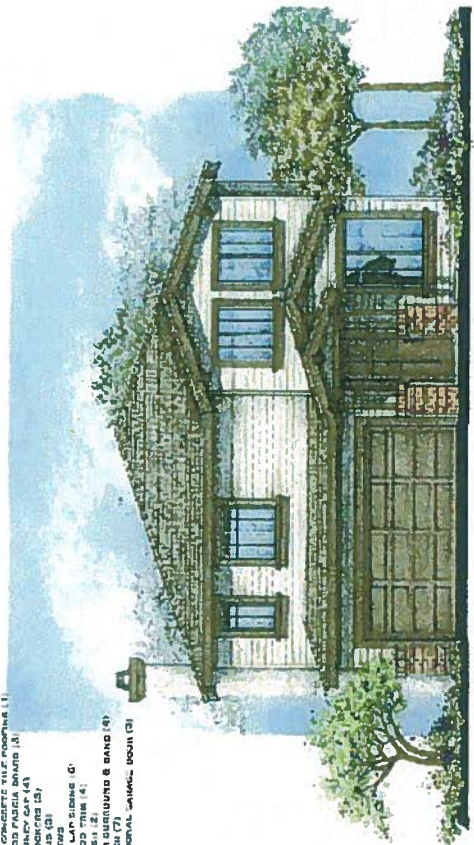


RIGHT SIDE

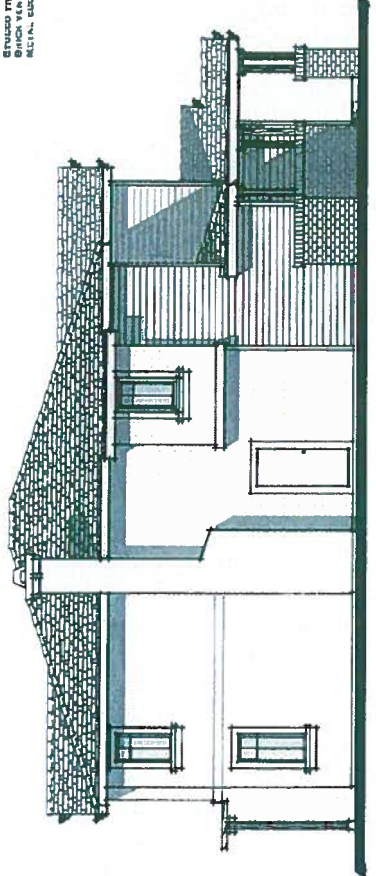


REAR

- MATERIAL PALETTE:**
- (1) FLAT IRON CONCRETE HALF ROOFING
 - (2) PAINTED WOOD PULVER BARS
 - (3) WOOD OUTDOORING
 - (4) WOOD TRELLIS
 - (5) HORIZONTAL LAP SIDING
 - (6) PAINTED WOOD TRIM
 - (7) BRICK
 - (8) BRICK WITH SUBSTRUNG & SAND
 - (9) BRICK VENEER
 - (10) BRICK EXTERNAL WALKWAY



FRONT



LEFT SIDE



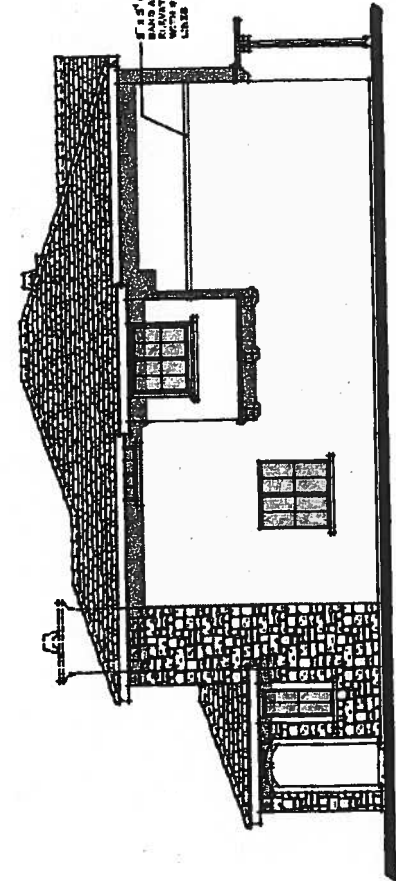
RESIDENCE TWO
 'B' ELEVATION / CRAFTSMAN
OCEANSIDE VISTA II
 CALIFORNIA
 OCEANSIDE TROLLEY PLACE LLC



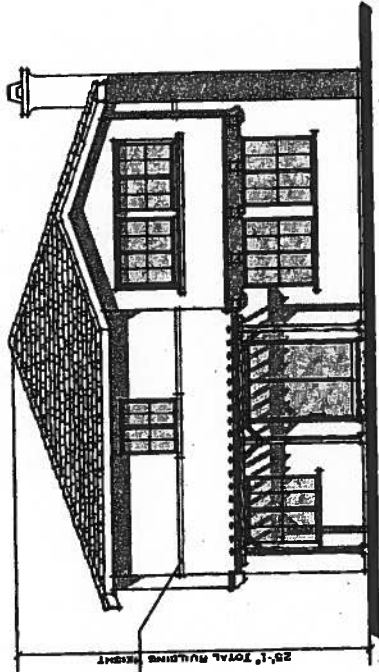
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REPRESENTATIONAL, NOT TO SCALE

#	DESCRIPTION	QUANTITY	UNIT	DATE	REVISIONS	BY
1	FOUNDATION	1	FOUNDATION	10/10/10	1	EDINGER
2	FRONT PORCH	1	FRONT PORCH	10/10/10	1	EDINGER
3	REAR PORCH	1	REAR PORCH	10/10/10	1	EDINGER
4	FRONT DOOR	1	FRONT DOOR	10/10/10	1	EDINGER
5	REAR DOOR	1	REAR DOOR	10/10/10	1	EDINGER
6	FRONT WINDOW	1	FRONT WINDOW	10/10/10	1	EDINGER
7	REAR WINDOW	1	REAR WINDOW	10/10/10	1	EDINGER
8	FRONT PORCH RAILING	1	FRONT PORCH RAILING	10/10/10	1	EDINGER
9	REAR PORCH RAILING	1	REAR PORCH RAILING	10/10/10	1	EDINGER
10	FRONT PORCH BRICK	1	FRONT PORCH BRICK	10/10/10	1	EDINGER
11	REAR PORCH BRICK	1	REAR PORCH BRICK	10/10/10	1	EDINGER
12	FRONT PORCH WALKWAY	1	FRONT PORCH WALKWAY	10/10/10	1	EDINGER
13	REAR PORCH WALKWAY	1	REAR PORCH WALKWAY	10/10/10	1	EDINGER
14	FRONT PORCH TRELLIS	1	FRONT PORCH TRELLIS	10/10/10	1	EDINGER
15	REAR PORCH TRELLIS	1	REAR PORCH TRELLIS	10/10/10	1	EDINGER
16	FRONT PORCH PULVER BARS	1	FRONT PORCH PULVER BARS	10/10/10	1	EDINGER
17	REAR PORCH PULVER BARS	1	REAR PORCH PULVER BARS	10/10/10	1	EDINGER
18	FRONT PORCH WOOD OUTDOORING	1	FRONT PORCH WOOD OUTDOORING	10/10/10	1	EDINGER
19	REAR PORCH WOOD OUTDOORING	1	REAR PORCH WOOD OUTDOORING	10/10/10	1	EDINGER
20	FRONT PORCH WOOD TRELLIS	1	FRONT PORCH WOOD TRELLIS	10/10/10	1	EDINGER
21	REAR PORCH WOOD TRELLIS	1	REAR PORCH WOOD TRELLIS	10/10/10	1	EDINGER
22	FRONT PORCH HORIZONTAL LAP SIDING	1	FRONT PORCH HORIZONTAL LAP SIDING	10/10/10	1	EDINGER
23	REAR PORCH HORIZONTAL LAP SIDING	1	REAR PORCH HORIZONTAL LAP SIDING	10/10/10	1	EDINGER
24	FRONT PORCH PAINTED WOOD TRIM	1	FRONT PORCH PAINTED WOOD TRIM	10/10/10	1	EDINGER
25	REAR PORCH PAINTED WOOD TRIM	1	REAR PORCH PAINTED WOOD TRIM	10/10/10	1	EDINGER
26	FRONT PORCH BRICK VENEER	1	FRONT PORCH BRICK VENEER	10/10/10	1	EDINGER
27	REAR PORCH BRICK VENEER	1	REAR PORCH BRICK VENEER	10/10/10	1	EDINGER
28	FRONT PORCH BRICK EXTERNAL WALKWAY	1	FRONT PORCH BRICK EXTERNAL WALKWAY	10/10/10	1	EDINGER
29	REAR PORCH BRICK EXTERNAL WALKWAY	1	REAR PORCH BRICK EXTERNAL WALKWAY	10/10/10	1	EDINGER



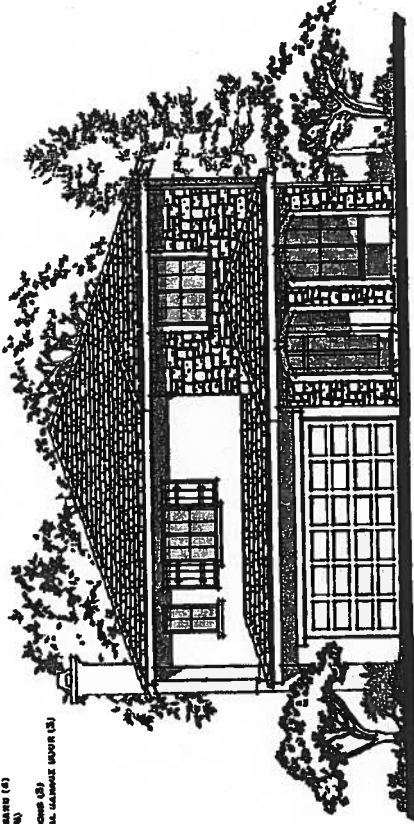
RIGHT SIDE



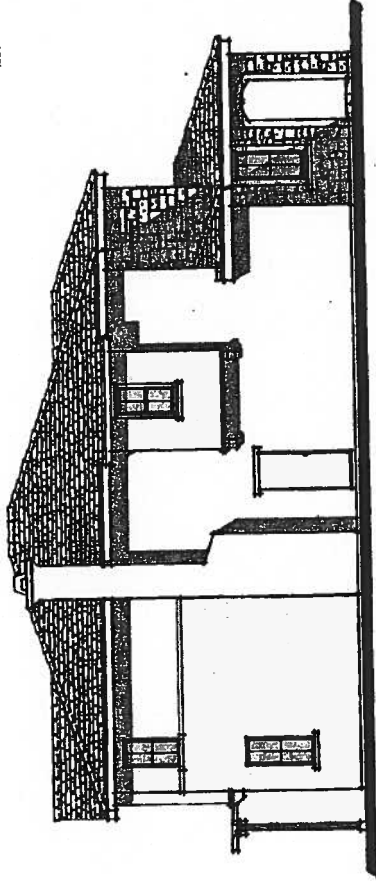
REAR

25'-1" TOTAL BUILDING HEIGHT
 1" = 1/4" MATTER
 BANDS AT ENLARGED
 ELEVATIONS SHOWN
 UNLESS NOTED OTHERWISE

MATERIAL PALETTE:
 FLAT SHADE, UNFINISHED TILE ROOFING (1)
 STONE, NATURAL, UNFINISHED (2)
 STONE, NATURAL, UNFINISHED (3)
 PAINTED WOOD PANELS (4)
 WOOD SHUTTERS (5)
 WOOD VERTICALS (6)
 STAINLESS STEEL (7)
 STAINLESS STEEL & BRASS (8)
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 STAINLESS STEEL (50)



FRONT



LEFT SIDE

0" 1" 2" 3" 4" 5" 6" 7" 8" 9" 10"

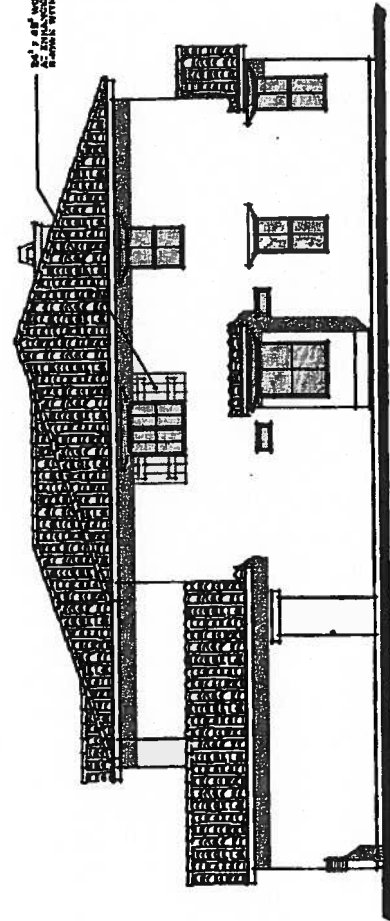
RESIDENCE TWO
 'C' ELEVATION / ITALIAN COUNTRY
OCEANSIDE VISTA II
 CALIFORNIA
 OCEANSIDE TROLLEY PLACE LLC



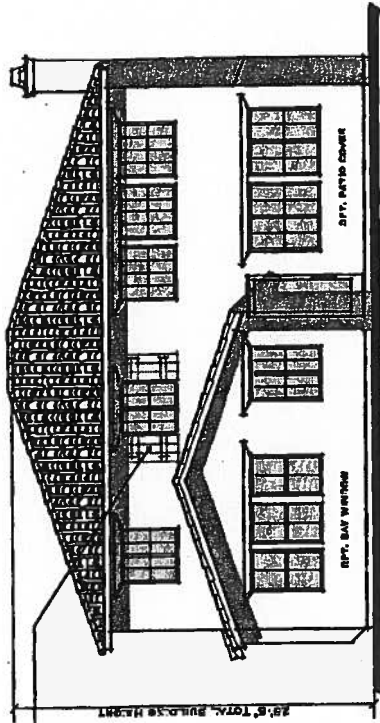
edinger architects

C - ITALIAN COUNTRY

1	FLAT SHADE, UNFINISHED TILE ROOFING	(1)	STONE, NATURAL, UNFINISHED	(2)	STONE, NATURAL, UNFINISHED	(3)	PAINTED WOOD PANELS	(4)	WOOD SHUTTERS	(5)	WOOD VERTICALS	(6)	STAINLESS STEEL	(7)	STAINLESS STEEL & BRASS	(8)	STAINLESS STEEL	(9)	STAINLESS STEEL	(10)	STAINLESS STEEL	(11)	STAINLESS STEEL	(12)	STAINLESS STEEL	(13)	STAINLESS STEEL	(14)	STAINLESS STEEL	(15)	STAINLESS STEEL	(16)	STAINLESS STEEL	(17)	STAINLESS STEEL	(18)	STAINLESS STEEL	(19)	STAINLESS STEEL	(20)	STAINLESS STEEL	(21)	STAINLESS STEEL	(22)	STAINLESS STEEL	(23)	STAINLESS STEEL	(24)	STAINLESS STEEL	(25)	STAINLESS STEEL	(26)	STAINLESS STEEL	(27)	STAINLESS STEEL	(28)	STAINLESS STEEL	(29)	STAINLESS STEEL	(30)	STAINLESS STEEL	(31)	STAINLESS STEEL	(32)	STAINLESS STEEL	(33)	STAINLESS STEEL	(34)	STAINLESS STEEL	(35)	STAINLESS STEEL	(36)	STAINLESS STEEL	(37)	STAINLESS STEEL	(38)	STAINLESS STEEL	(39)	STAINLESS STEEL	(40)	STAINLESS STEEL	(41)	STAINLESS STEEL	(42)	STAINLESS STEEL	(43)	STAINLESS STEEL	(44)	STAINLESS STEEL	(45)	STAINLESS STEEL	(46)	STAINLESS STEEL	(47)	STAINLESS STEEL	(48)	STAINLESS STEEL	(49)	STAINLESS STEEL	(50)	STAINLESS STEEL
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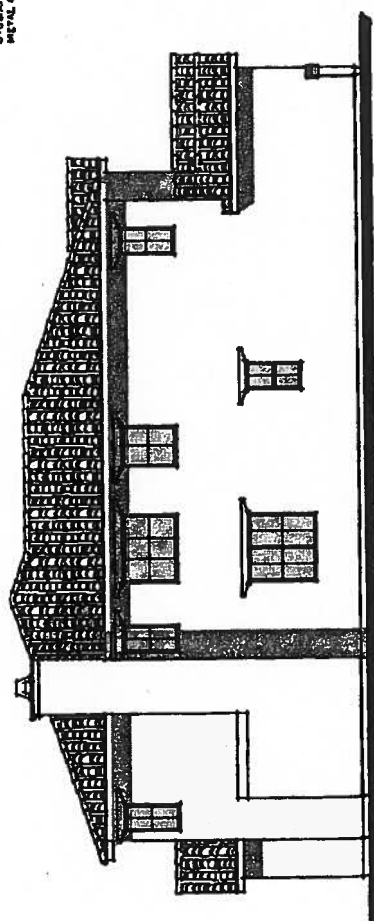
RIGHT SIDE



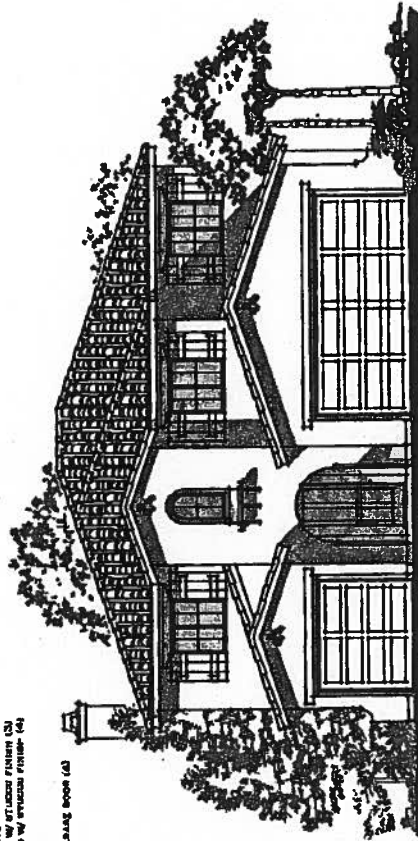
REAR

MATERIAL PALLET:

- 1) BRICK WITH MORTAR (1)
- 2) STUCCO WITH MORTAR (2)
- 3) STUCCO WITH MORTAR (3)
- 4) STUCCO WITH MORTAR (4)
- 5) STUCCO WITH MORTAR (5)
- 6) STUCCO WITH MORTAR (6)
- 7) STUCCO WITH MORTAR (7)
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- 13) STUCCO WITH MORTAR (13)
- 14) STUCCO WITH MORTAR (14)
- 15) STUCCO WITH MORTAR (15)
- 16) STUCCO WITH MORTAR (16)
- 17) STUCCO WITH MORTAR (17)
- 18) STUCCO WITH MORTAR (18)
- 19) STUCCO WITH MORTAR (19)
- 20) STUCCO WITH MORTAR (20)



LEFT SIDE



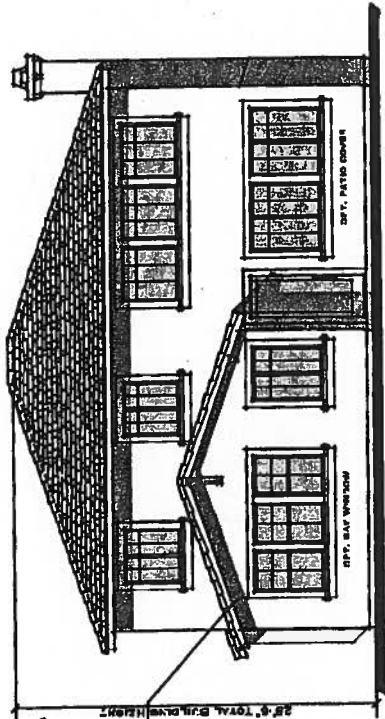
FRONT

0 1/2" = 1'

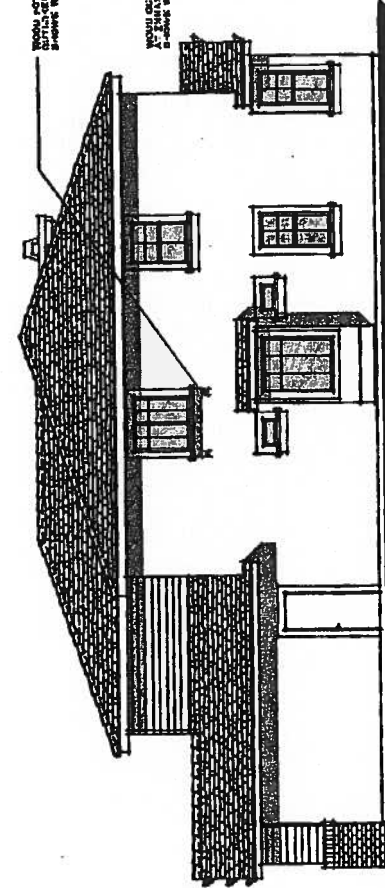
RESIDENCE THREE
 "A" ELEVATION / SPANISH ECLECTIC
OCEANSIDE VISTA II
 CALIFORNIA
 OCEANSIDE TROLLEY PLACE LLC

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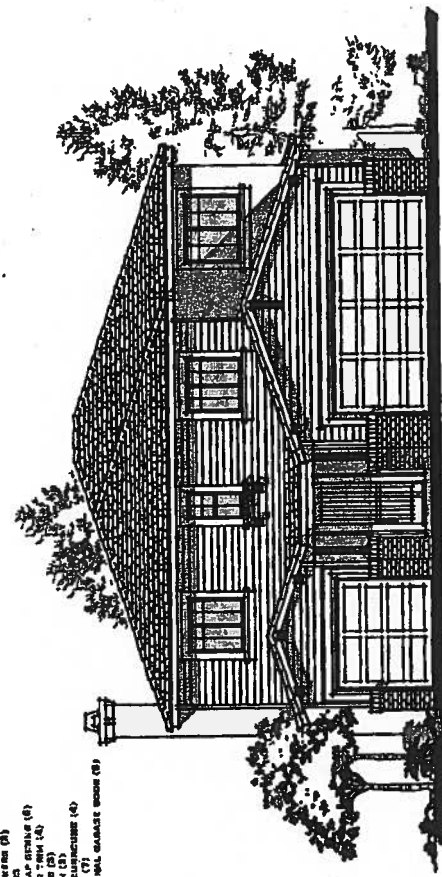
A-SPANELL	(1)	(2)	(3)	(4)	(5)
1	BRICK WITH MORTAR	STUCCO WITH MORTAR	STUCCO WITH MORTAR	STUCCO WITH MORTAR	STUCCO WITH MORTAR
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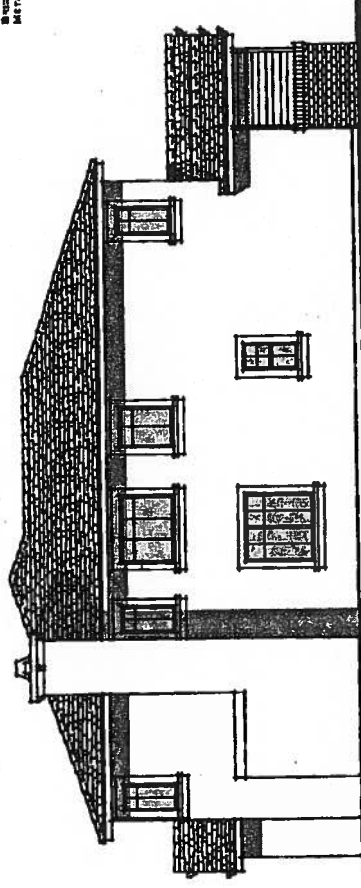
REAR



RIGHT SIDE



FRONT



LEFT SIDE

- MATERIAL PALLET:**
- 1) 2" x 4" SHIP LAP SIDING
 - 2) PAINTED NORTH ALABAMA DOCK (S)
 - 3) PAINTED SHIP LAP (S)
 - 4) PAINTED SHIP LAP (S)
 - 5) PAINTED SHIP LAP (S)
 - 6) HORIZONTAL LAP SIDING (S)
 - 7) PAINTED SHIP LAP (S)
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 - 17) PAINTED SHIP LAP (S)
 - 18) PAINTED SHIP LAP (S)
 - 19) PAINTED SHIP LAP (S)
 - 20) PAINTED SHIP LAP (S)

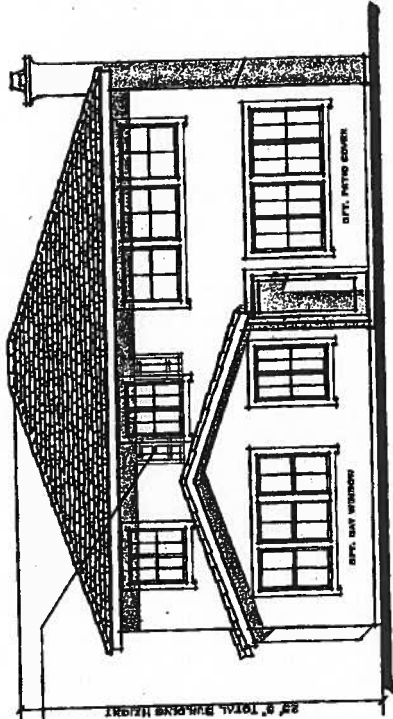


RESIDENCE THREE
 "B" ELEVATION / CRAFTSMAN
OCEANSIDE VISTA II
 CALIFORNIA
 OCEANSIDE TROLLEY PLACE LLC

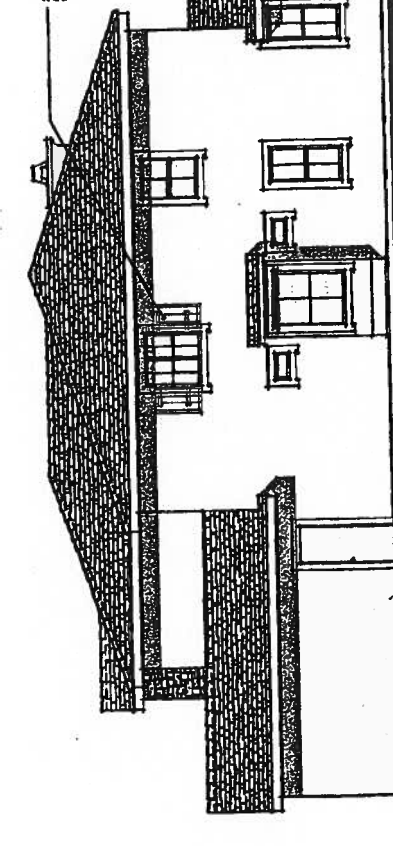


edingerArchitects

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
2	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
3	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
4	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
5	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
6	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
7	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
8	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
9	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
10	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
11	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
12	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
13	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
14	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
15	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
16	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
17	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
18	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
19	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
20	PAINTED SHIP LAP (S)	100	SQ. FT.	1.50	150.00
TOTAL					3000.00

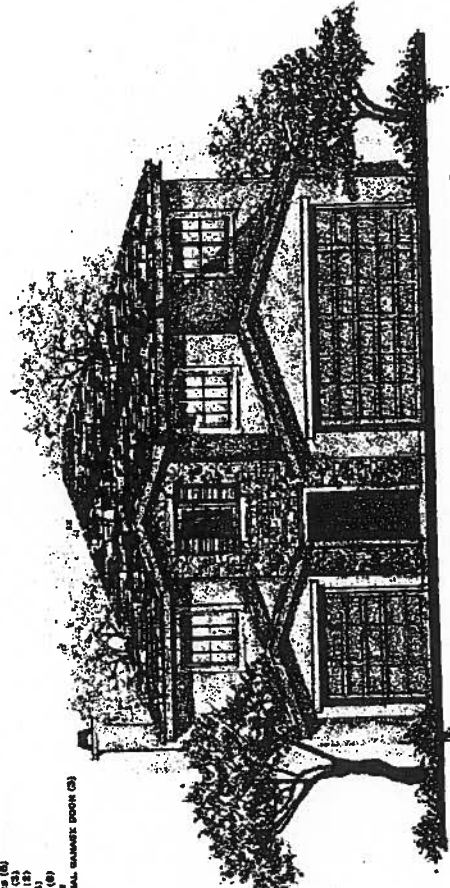


24' x 4" WOOD SHUTTERS
AT APERTURES & OVER LIGHTS
SHOWN WITH SHUTTERED LENSES

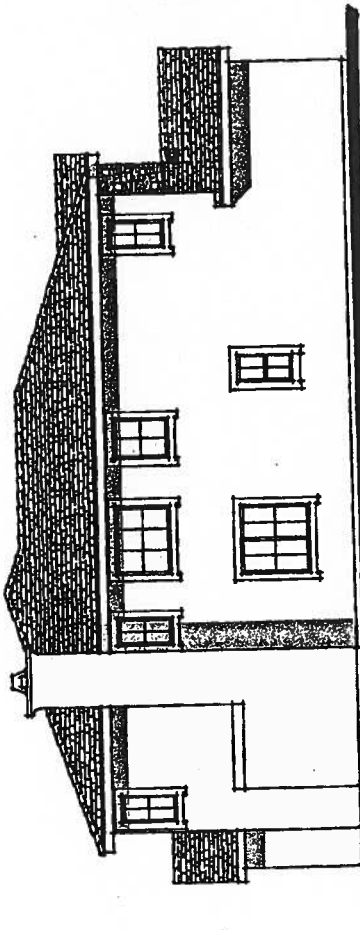


REAR

MATERIAL PALETTE:
 PLANT SHALE CONCRETE TILE SHIMING (1)
 1" x 6" x 12" PLANT SHALE (2)
 PLANT SHALE (3)
 WOOD SHUTTERS (4)
 FRENCH SHUTTERS (5)
 FRENCH SHUTTERS (6)
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 STONE (50)



FRONT



LEFT SIDE

0" 1" 2" 3" 4" 5" 6" 7" 8" 9" 10"

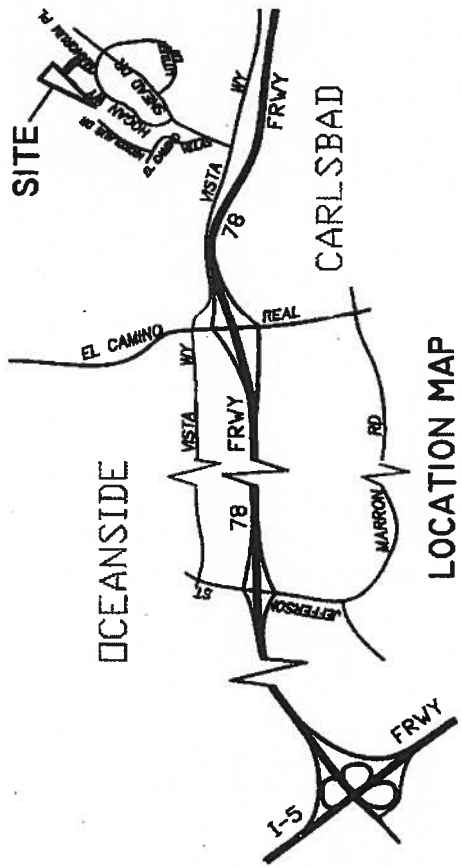
RESIDENCE THREE
 "C" ELEVATION / ITALIAN COUNTRY
OCEANSIDE VISTA II
 CALIFORNIA
 OCEANSIDE TROLLEY PLACE LLC



s.dinger Architects

H: 1:4 AS SHOWN

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	10/10/13
2	ISSUED FOR PERMITTING	10/10/13
3	ISSUED FOR PERMITTING	10/10/13
4	ISSUED FOR PERMITTING	10/10/13
5	ISSUED FOR PERMITTING	10/10/13
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48	ISSUED FOR PERMITTING	10/10/13
49	ISSUED FOR PERMITTING	10/10/13
50	ISSUED FOR PERMITTING	10/10/13



LOCATION MAP
N.T.S.



May 27, 2014

City of Oceanside
300 N. Coast Highway
Oceanside, CA 92054

Subject: Mangrum Project – Developer’s Conference – Description Letter

Introduction: The project area is located north of Mangrum Place, immediately adjacent to the El Camino Country Club Golf Course. It consists of a pie-shaped piece of vacant land between the golf course and the residential development along Mangrum Place. The project is proposing a 4-unit subdivision, with access via a roadway extending north of Mangrum Place.

A.P.N: 165-350-04

Site Address: Mangrum Place, Oceanside, CA 92054

Zoning Existing & Proposed: Residential Estate B (RE-B)

Land Use: Existing	Vacant
Proposed	Single Family

Total Site Area: 1.989 Acre / 86,640 Square Feet

Number of Lots: 4

Currently, we are scheduled for July, 8, 2014 at 10:00 am. Please feel free to contact me with any questions or comments.

Sincerely,

A handwritten signature in blue ink that reads "Elizabeth Shoemaker".

Elizabeth Shoemaker
Alliance Land Planning & Engineering
2248 Faraday Avenue
Carlsbad, CA 92008
Phone: (760) 431-9896
Email: Elizabeth.shoemaker@gmail.com

MANGRUM PLACE
SITE AERIAL EXHIBIT
3/26/13



PROJECT SITE
APN
1653-500-400

2208 JEFFERSON AVE.
SUITE 200
DALLAS, TX 75201
TEL: (972) 424-8800
FAX: (972) 424-8800
11133 TOWNLEY ROAD
SUITE 100
DALLAS, TX 75244
TEL: (972) 794-2700

ALLIANCE
LAND PLANNING & ENGINEERING, INC.
CIVIL ENGINEERING • LAND PLANNING • PALLIATIVE DESIGN • SURVEYING



Mark England/HomeStyles.com

Mark England/HomeStyles.com

Alluring Arches

- Massive columns, high, dramatic arches and expansive glass attract passersby to this alluring one-story home.
- Inside, 12-ft. coffered ceilings are found in the foyer, dining room and living room. A bank of windows in the living room provides a sweeping view of the covered backyard patio, creating a bright, open effect that is carried throughout the home.
- The informal, family activity areas are oriented to the back of the home as well. Spectacular window walls in the breakfast room and family room offer tremendous views. The family room's inviting corner fireplace is positioned to be enjoyed from the breakfast area and the spacious island kitchen.
- Separated from the secondary bedrooms, the superb master suite is entered through double doors and features a sitting room and a garden bath. Another full bath is across the hall from the den, which would also make a great guest room or nursery.

Plan HDS-99-179

Bedrooms: 3+ **Baths:** 3

Living Area:

Main floor 2,660 sq. ft.

Total Living Area: 2,660 sq. ft.

Garage 527 sq. ft.

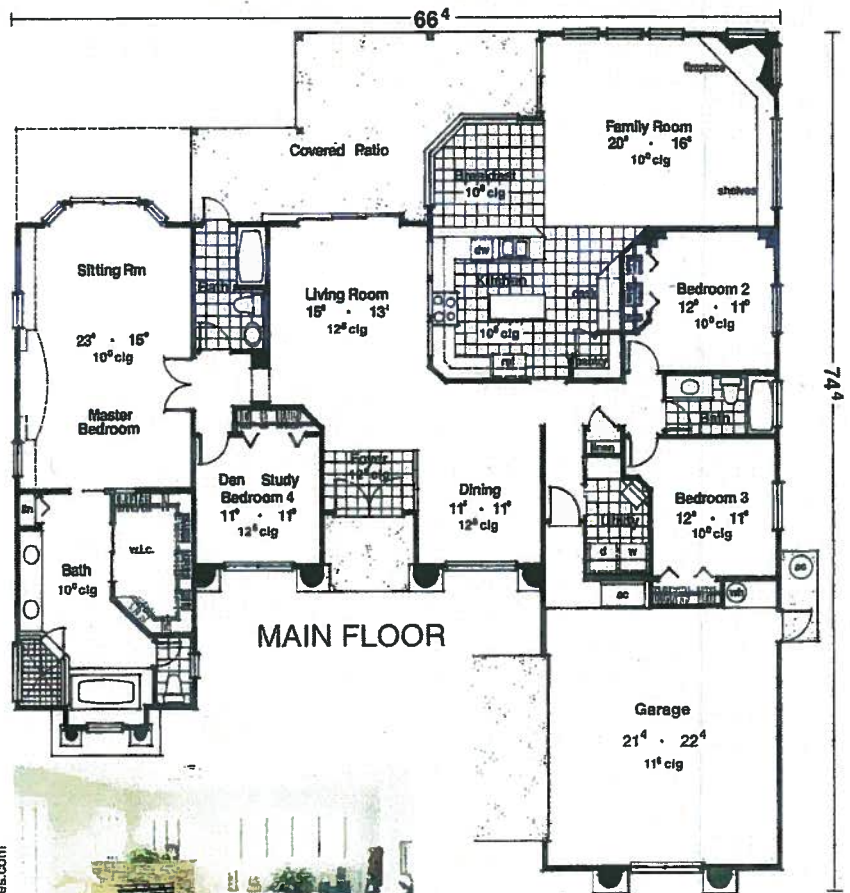
Exterior Wall Framing: 2x4

Foundation Options:

Slab

(All plans can be built with your choice of foundation and framing. A generic conversion diagram is available. See order form.)

BLUEPRINT PRICE CODE: D



Mark England/HomeStyles.com



VIEW INTO FAMILY ROOM

NOTE:
The above photographed home may have been modified by the homeowner. Please refer to floor plan and/or drawn elevation shown for actual blueprint details.

**ORDER BLUEPRINTS ANYTIME!
CALL TOLL-FREE 1-888-277-5588**

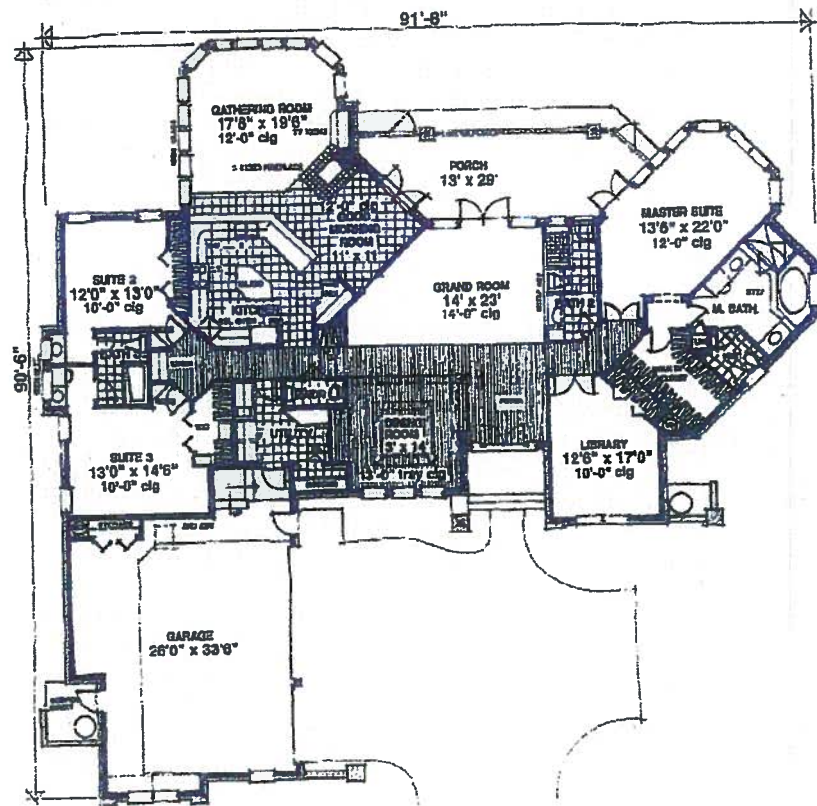
Plan HDS-99-179

**PRICES AND DETAILS
ON PAGES 10-13**



Spectacular Design

- The spectacular brick facade of this home conceals a stylish floor plan. Endless transoms crown the windows that wrap around the rear of the home, flooding the interior with natural light.
- The foyer opens to a huge Grand Room. French doors access a delightful porch.
- A three-sided fireplace warms the three casual rooms, which share a high 12-ft. ceiling. The Gathering Room is surrounded by tall windows; the Good Morning Room features porch access; and the island kitchen offers a double oven, a pantry and a snack bar.
- Guests will dine in style in the formal dining room, with its elegant tray ceiling and trio of tall, arched windows.
- Curl up with a good book in the quiet library, which has an airy 10-ft. ceiling.
- A 12-ft. ceiling enhances the fantastic master suite, which is wrapped in windows. The superb master bath boasts a step-up garden tub, a separate shower, two vanities, a makeup table and a bidet.
- Two sleeping suites on the other side of the home have 10-ft. ceilings and share a unique bath with private vanities.



MAIN FLOOR

Plan EOF-8

Bedrooms: 3+ **Baths:** 3½

Living Area:

Main floor 3,392 sq. ft.

Total Living Area: 3,392 sq. ft.

Garage 871 sq. ft.

Exterior Wall Framing: 2x6

Foundation Options:

Slab

All plans can be built with your choice of foundation and framing. A generic connection diagram is available. See order form.

BLUEPRINT PRICE CODE: E

**ORDER BLUEPRINTS ANYTIME!
CALL TOLL-FREE 1-888-277-5588**

Plan EOF-8

**PRICES AND DETAILS
ON PAGES 10-13**



A Little Ray of Sunshine

- This gorgeous home features numerous dazzling windows and glass walls that bring cheery sunshine to both your home and your family.
- A bright stucco exterior with decorative keystones, arched windows and a dramatic entry between two regal columns brings a touch of Spanish-style flair to the neighborhood.
- Inside, the living and dining rooms await the formal dinners and Sunday brunches that you'll cherish preparing. Open the French doors to the patio and enjoy the gentle days of spring.
- When family members return home, they will congregate in the family room to do homework or read the paper.
- The open design of the kitchen allows the family chef to visit with family members working on other business. An island worktop with a vegetable sink makes meal preparation fun.
- Across the home, double doors introduce the gorgeous master suite. In the bath, his-and-hers closets and vanities eliminate jostling over space, while the raised tub is a welcome sight after a strenuous workout.

Plan HDS-99-276

Bedrooms: 3+ **Baths:** 3

Living Area:

Main floor 2,766 sq. ft.

Total Living Area: 2,766 sq. ft.

Garage 887 sq. ft.

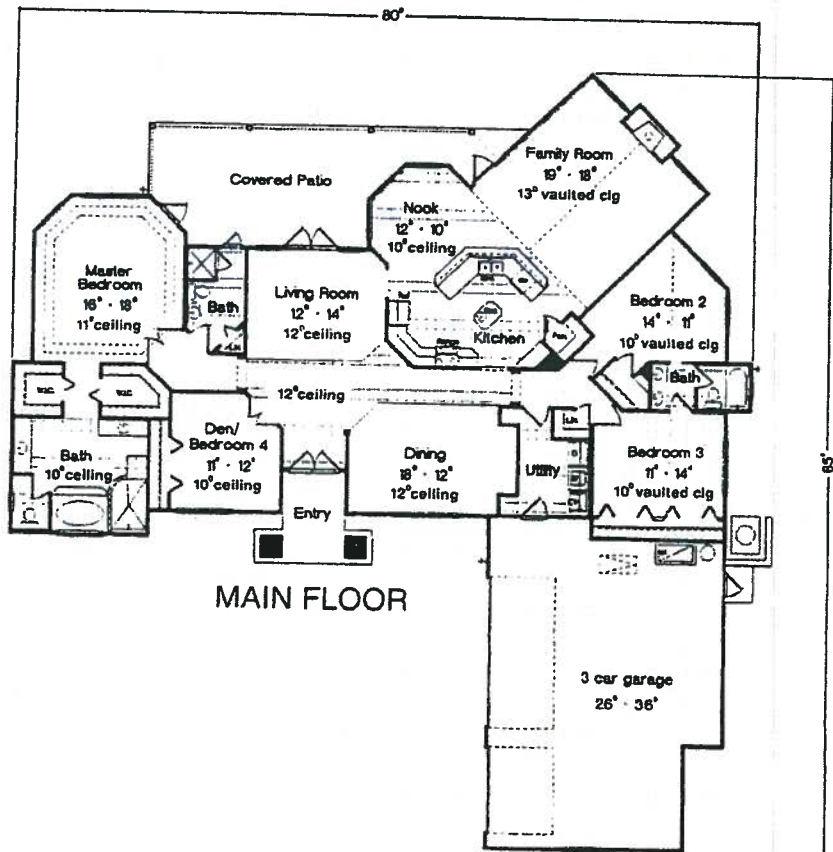
Exterior Wall Framing: 2x4

Foundation Options:

Slab

(All plans can be built with your choice of foundation and framing. A generic conversion diagram is available. See order form.)

BLUEPRINT PRICE CODE: D



MAIN FLOOR